

DEVELOPMENT APPLICATION

Application No. _____ Filed _____, 20____ Fee \$ _____

(DO NOT WRITE ABOVE LINE)

1. Applicant's Name AC Construction Mgt., LLC
Address 303 4th Avenue, Spring Lake, NJ 07762 Phone # 908-477-8131
Signature [Handwritten Signature]

2. Present Owner (if other than applicant) Same as Applicant
Address _____ Phone # _____
Signature _____

3. Attorney Representing Applicant (NOTE: Corporations must be represented by a New Jersey Atty.)
Name: Michael R. Rubino, Jr., Esq. Phone # (732)449-7500
Firm: Pandolfe, Shaw & Rubino, LLC
Address: 215 Morris Avenue, Spring Lake, New Jersey 07762

4. Licensed New Jersey Professional preparing plan:
Name: Joseph Kociuba, PE PP Phone # 732-722-8555
Firm: KBA Engineering Services, LLC
Address: 2517 Route 35, Bldg. E., Ste 203, Manasquan, NJ 08736

5. Interest of applicant (if other than owner): n/a

6. Application for (check as appropriate): Zoning Variance Yes Conditional Use Yes _____
Site Plan - Preliminary Yes _____ Subdivision - Classification _____
Final Yes _____ Minor Yes _____
Amended Yes _____ Preliminary Yes _____
Final (Major) Yes _____

7. Location 601 Ocean Road
(street)
20 / R-50 / 17
(Tax Map Block Number) (Zone) (Lot Number(s))

8. Existing Use: Vacant Lot

9. Proposed Use: Single Family home

10. Permission requested to: Erect Move _____ Use _____ Alter _____ Subdivide _____ Other _____

11. Descriptive explanation of request: Applicant proposes to construct a new 2 story single family residence on the lot. The lot is undersized at 5,400 square feet, where 7,500 square feet is required. The applicant will require variances for Lot Area - 5,400 s.f., whereas 7,500 s.f. is required; Lot Depth - 90 ft existing and proposed, whereas 150 feet required; Front Yard Setback (Ocean Road) 25.00 feet proposed, whereas 30 feet required; Front Yard Setback (6th Avenue) 23.84 feet proposed, whereas 30 feet required.

12. Has there been any previous application involving these premises? If so, state date of application, nature of application and disposition: unknown

13. Have all real estate taxes applicable been paid to date? Yes No (Attach proof of payment)

14. Attach and circle the following addenda (as appropriate): ZONING VARIANCE ADDENDUM #1
CONDITIONAL USE: ADDENDUM #2 SITE PLAN: ADDENDUM #3 SUBDIVISION ADDENDUM #4
(DO NOT WRITE BELOW THIS LINE)

Referred to _____
(Planning Board or Board of Adjustment)

Decision on Application: Approved: _____ Denied: _____

Resolution attached: Approved with Conditions Date: _____

BOROUGH OF SPRING LAKE HEIGHTS, NEW JERSEY
ADDENDUM FOR ZONING VARIANCE
ADDENDUM #1

1. Applicant (does) (does not) own adjoining property? _____
2. Size of Lot (s) 5,400 s.f.
3. Depth of Lot (s) 90 ft.
4. Width of Lot (s) 60 ft.
5. Size of Proposed Structure(s) 1,300 s.f.
6. Percentage of Lot Occupied by Building 24.07%
7. Height of Building 2 Stories 30.91 Feet
8. Setback or Proposed Setback from Front Property Line Ocean Road – 25.00 feet (covered porch) and Sixth Avenue – 23.84 feet CORNER LOT
9. Setback or Proposed Setback from Rear Property Line 13.00 feet (covered deck)
10. Side Line or Proposed Side Line Setback 10.16 feet Right n/a (Corner Lot) Left
11. Has there been any previous appeal involving these premises? unknown
12. The proposed building or use thereof is contrary to the Zoning Ordinances in the following particulars:
(State Article & Sections)
- Lot Area – 5,400 s.f. existing and proposed, whereas 7,500 is required;
- Min. Lot Depth – 90 feet existing and proposed, whereas 150 feet is required;
- Front Yard Setback – Ocean Road – 25.00 feet (covered porch) proposed, whereas 30 feet required;
- Front Yard Setback – Sixth Avenue – 23.84 feet proposed, whereas 30 feet required;

13. State reasons why this zoning variance should be granted.

See attached addendum

[Redacted Signature]

NAME _____

ATTACH TO DEVELOPMENT APPLICATION NUMBER _____

APPLICANT seeks variance from the terms of Articles and Sections _____

_____ of the Zoning Ordinance so as to permit (explain what you are planning to do.)

ADDENDUM TO APPLICATION

ITEM #13

The applicants recently purchased 601 Ocean Road which had an existing house on it, which has since been taken down. The lot lies on Sixth Avenue and Ocean Road and is an undersized lot containing 5,400 square feet where 7,500 square feet is required. The lot is odd shaped in that it is only 60 feet by 90 feet dimension, 50 feet by 150 feet is the required. In addition, it is a corner lot and requires two 30 foot setbacks. The applicant is therefore asking for relief for undersized lot and lot lacking depth. In addition thereto, the applicant will ask for variance relief for front yard setback on Ocean Road where 30 feet is required, and 25 feet is proposed, 20.8 feet existing. It should be noted that the old covered porch went to 20.8 feet. The applicant will also ask for front yard relief on Sixth Avenue where 30 feet is required, 23.84 feet is proposed and 13.1 feet previously existed. It should be noted that there is 14.35 foot average on Sixth Avenue. Applicant will be removing the side yard setback violation of 7.1 feet to 10 feet as required. The applicant is reducing both the building coverage and lot overage to permissible percentages where the previous coverages were over. Because of the undersized nature of the lot and its odd dimension will make it difficult to develop the property without variance relief. It is respectfully requested that the Board can grant the relief under the hardship section of the ordinance or under the C-2 section of the Statute.

The applicant believes that by reason on an extraordinary and exceptional situation that uniquely affected the subject property and the structure which exists lawfully thereon the strict application of the aforementioned regulations would result in peculiar and exceptional practical difficulties to, or exception and undue hardship upon the applicant.

The applicant will demonstrate that the purposes of the Municipal Land Use Law and the Land Use Ordinances of the Borough would be advanced by a deviation from the zoning ordinance requirements

at issue, and further that the benefits of any such deviation would substantially outweigh any detriment resulting from a grant of the application.

The applicant believes that the relief can be granted without substantial detriment to the public good and that the relief will not substantially impair the intent and purpose of the Zone Plan and Zoning Ordinances of the Borough. The negative criteria will be satisfied as the applicant finds no detriment as a result of the granting of the application. The applicant also believes that there will be no adverse impact as a result of the granting of the application.

**BOROUGH OF SPRING LAKE HEIGHTS BOARD OF ADJUSTMENT LAND USE
APPLICATION CHECKLIST**

The following information is required by the Borough's ordinances to be submitted as part of the Application for Development. See also "Application for Development."

Sixteen copies of site plan (minimum scale: 50 feet to inch) showing the following:

All items must be checked and submitted:

- a. The lot and block number, exact area and exact dimensions of the property to be built upon.
- b. Location and layout of all existing structures, buildings and roadways on the site and on adjacent properties, but only if said buildings or roadways on adjacent properties are within 200 feet of the site.
- c. The location, size, shape and layout of all proposed buildings, structures, roadways, walkways, parking areas, loading areas, buffer strips, outdoor lighting fixtures, fences, signs, landscaping, driveways, driveway aprons and sidewalks..
- d. Existing and proposed grading of the site shown by contour lines having a maximum vertical interval of two feet for areas having slopes of ten percent or less and five feet for areas having slopes greater than ten percent.
- e. Existing and proposed natural or artificial drainage facilities for the disposal of storm-water run-off.
- f. Existing or proposed facilities for sewage disposal showing the location of proposed facilities or the point of connection with an existing system.
- g. Existing or proposed facilities for the supply of water showing the location of wells or the point of connection with an existing public water supply.
- h. Elevations and floor plans of all proposed buildings and structures. The height of each existing and proposed structure as measured in accordance with the Borough's ordinances must be depicted on the plan.
- i. Information pertaining to the nature of the proposed operations to be conducted on the site in sufficient detail to permit the appropriate municipal officials to determine whether or not the proposed use will be in compliance with the standards Borough's Ordinances.
- j. Filing fees and professional escrow fees according to the attached schedule.

- k. All rear, front and side yard setback dimensions for all existing and proposed structures located, or to be located, on the property, as well as the permitted building envelopes for such structures.
- l. A survey, dated no earlier than six months prior to the date the Application for Development is filed, accurately depicting the size of the property and the dimensions of all structures located thereon. The survey must be prepared and certified by a licensed land surveyor.

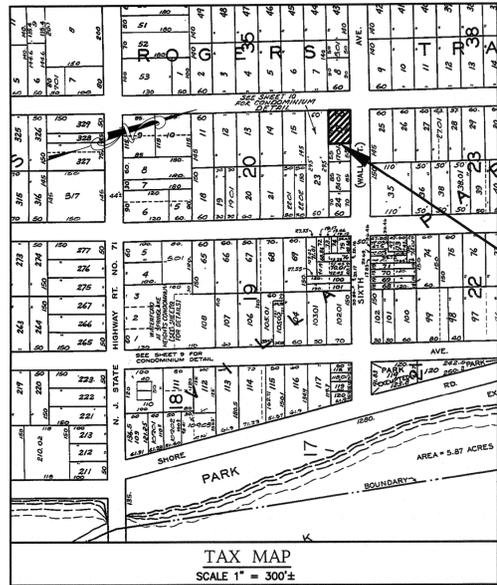
Subsequent to the application being deemed complete, but at least five days prior to the hearing, the applicant shall submit the following:

- m. Certified list of property owners within 200 feet of property and other entities requiring notice which is to be obtained from the Tax Collector - \$10.00 fee.
- n. "Certification of Taxes Paid" obtained from the Tax Collector.
- o. Copy of Notice of Hearing to property owners within 200 feet of property.
- p. Notice of Hearing must be published in the Coast Star, Asbury Park Press or the Herald ten days prior to the meeting.
- q. An Affidavit of Proof of Service and Proof of Publication indicating the method and time of notification to adjoining landowners and other required entities.

SUSTAINABILITY CHECKLIST FORM

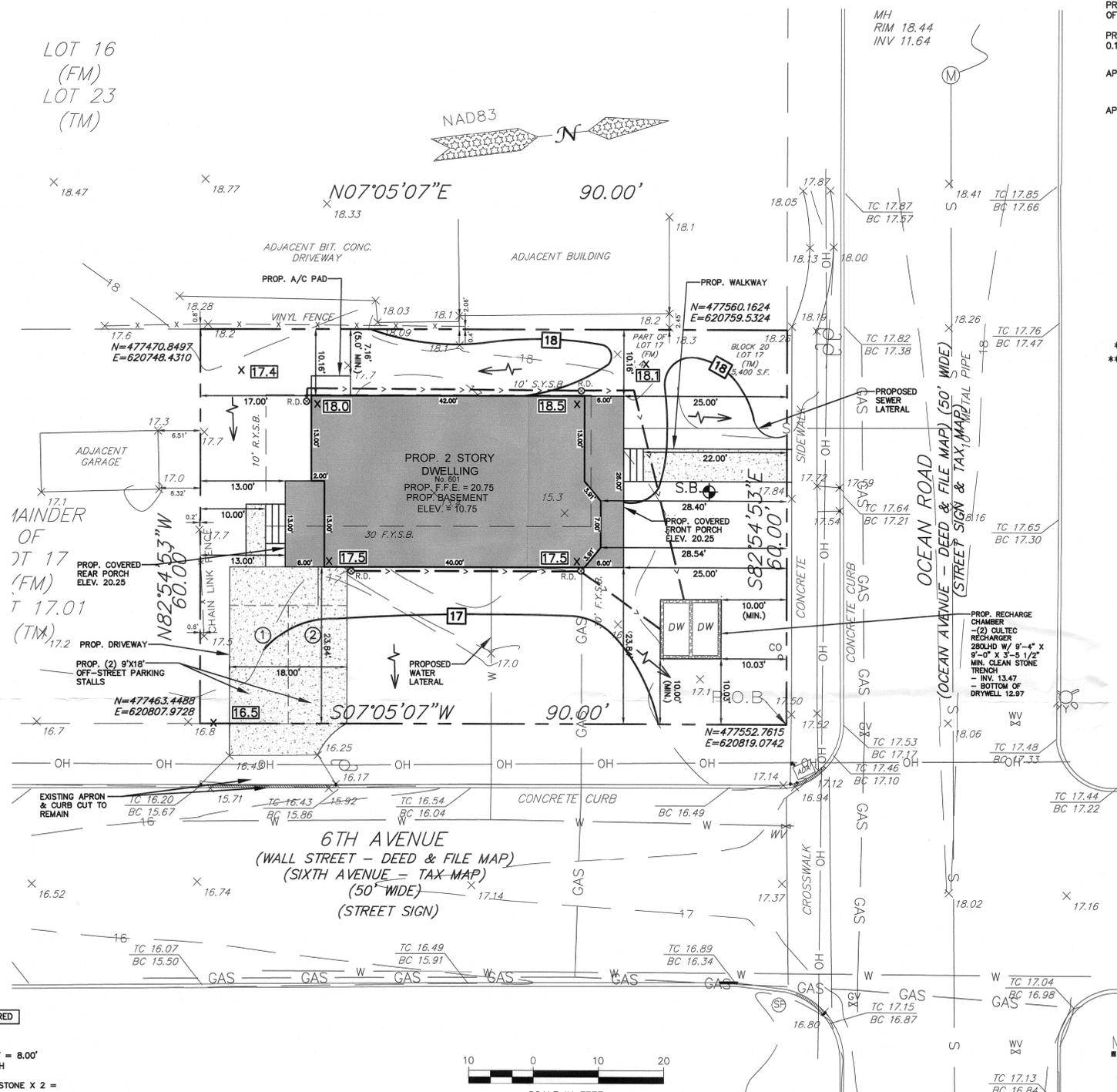
	APPLICANT	BOROUGH
		OK (Date)
SUSTAINABLE BUILDING AND DESIGN STANDARDS		
Name of LEED Accredited Professional working on project	N/A	
List of Energy Star and WaterSense appliances, fixtures and construction techniques	N/A	
List of green and recycled building materials in new construction, renovation, and maintenance	N/A	
Waste Management Plan for recycling and/or reuse of 60 percent of all construction and demolition of waste generated in projects larger than \$25,0000	N/A	
Use of any water efficient landscaping	N/A	
Use of any on-site renewable energy systems such as: Solar Wind Geothermal	N/A	
Details of roofing materials designed to reduce the urban heat island effect such as: Construction of roof top gardens to reduce solar gain in summer and insulate in winter Use of roofing materials that are no darker than a light gray or demonstrate how alternate roofing materials reduce the urban heat island effect	ASPHALT SHINGLE	
Details of any sustainable stormwater systems employed such as: Bioswales/raingardens Permeable surfaces Grey water systems Retention and detention facilities Continuous trenching	DRY WELLS	
A list of native and well adapted species used in landscaping to eliminate the need for fertilization and pesticides	SOD + NATIVE PLANTS	
Details of energy efficient I-NAC equipment		
Details of building envelope efficiency such as insulation beyond code requirements, air sealing and advanced framing techniques	MODULAR CONSTRUCTION	

Note: Please indicate for each of the sustainable building/design items listed, the extent to which the measure is being incorporated in the project; or, alternatively, indicate the reason(s) why it is not being incorporated in the project



PROJECT LOCATION

LOT 16 (FM)
LOT 23 (TM)



GENERAL NOTES

PROPERTY ID KNOWN AS BLOCK 20, LOT 17 AS SHOWN ON TAX MAP SHEET 1 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF SPRING LAKE HEIGHTS, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-50 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.1239± ACRES (5,400 S.F.)

APPLICANT: AC CONSTRUCTION MGT. LLC.
303 4TH AVENUE
SPRING LAKE, NJ 07762

APPLICANT PROPOSES TO CONSTRUCT A NEW 2-STORY DWELLING.

DESCRIPTION	REQUIRED/PERMITTED	PRE-EXISTING ***	PROPOSED
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
LOT AREA	7,500 S.F.	* 5,400 S.F.	* 5,400 S.F.
MIN. LOT FRONTAGE	50 FT.	* 60 FT.	* 60 FT.
MIN. LOT WIDTH	50 FT.	* 60 FT.	* 60 FT.
MIN. LOT DEPTH	150 FT.	* 90 FT.	* 90 FT.
FRONT YARD SETBACK (OCEAN ROAD)	30 FT.	* 20.8 FT. (COVERED PORCH)	** 25.00 FT. (COVERED PORCH)
FRONT YARD SETBACK (6TH AVE.)	30 FT. (14.35 AVERAGE)	* 13.1 FT. (COVERED PORCH)	** 23.84 FT.
SIDE YARD SETBACK	10 FT.	* 7.1 FT.	** 10.16 FT.
REAR YARD SETBACK	10 FT.	* 28.3 FT.	13.00 FT. (COVERED DECK)
MAX. LOT COVERAGE (BLDG)	25 % (1,350 S.F.)	* 30.27 % (1,635 S.F.)	24.07 % (1,300 S.F.)
MAX. LOT COVERAGE (MPERV)	50 % (2,700 S.F.)	* 53.16 % (2,871 S.F.)	35.55 % (1,920 S.F.)
MAX. BLDG. HEIGHT (PRINCIPAL)	32 FT. (2.5 STY)	N/A	< 32 FT.
MAX. BLDG. HEIGHT (GARAGE)	15 FT.	N/A	N/A
ACCESSORY SIDE SETBACK (GARAGE)	5 FT.	N/A	N/A
ACCESSORY REAR SETBACK (GARAGE)	5 FT.	N/A	N/A

* - INDICATES EX. NON-CONFORMITY
** - INDICATES VARIANCE REQUIRED

*** - BASED ON SURVEY PREPARED BY BRUNSWICK SURVEYING INCORPORATED DATED 2/25/19

PLAN NOTES

1. PROPOSED WATER & SEWER SERVICES.
2. ELEVATIONS BASED ON 1988 N.A.V.D.
3. PROPERTY IS NOT LOCATED IN A FLOOD ZONE PER FEMA PRELIMINARY FIRM MAP
4. BUILDING HEIGHT MEASURED FROM CURB HEIGHT AT MIDPOINT OF LOT FRONTAGE (16.54) TO ROOF PEAK.
5. DRYWELLS TO BE 10 FT. FROM ALL STRUCTURES AND PROPERTY LINES.
6. ROOF LEADERS AT FRONT AND REAR OF DWELLING AND GARAGE TO BE DIRECTED TO DRYWELLS.
7. PROPOSED GRADING TO NOT BE ALTERED MORE THAN 18" FROM EXISTING GRADE.

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY CLEAR POINT SERVICES, DATED 10/17/2019

BUILDING INFORMATION TAKEN FROM ARCHITECTURAL PLANS PREPARED BY SIMPLEX HOMES, DATED 8/28/2019

PROPOSED BUILDING COVERAGES

PROP. DWELLING = 1,091 S.F.
PROP. COVERED FRONT PORCH = 131 S.F.
PROP. COVERED REAR DECK = 78 S.F.
TOTAL BUILDING COVERAGE = 1,300 S.F. (24.07 %)

PROPOSED IMPERVIOUS COVERAGES

PROP. DWELLING = 1,091 S.F.
PROP. COVERED FRONT PORCH = 131 S.F.
PROP. COVERED REAR DECK = 78 S.F.
PROP. FRONT STEPS & WALKWAY = 125 S.F.
PROP. REAR STEPS & WALKWAY = 47 S.F.
PROP. A/C PAD = 18 S.F.
PROP. DRIVEWAY = 430 S.F.
TOTAL IMPERVIOUS COVERAGE = 1,920 S.F. (35.55 %)

BUILDING HEIGHT CALCULATIONS

CURB HEIGHT AT MIDPOINT OF LOT FRONTAGE = 16.54 N.A.V.D.
PROP. ROOF PEAK = 47.45 N.A.V.D.
BUILDING HEIGHT = 47.45 - 16.54 = 30.91 FT (ARCHS)

SIXTH AVE.

BLOCK No.	LOT No.	FRONT SB DWELLING
20	17	P.I.Q
20	17.01	16.5
20	24.01	VACANT
20	24	12.2

AVG. SETBACK 14.35

FRONT SETBACKS AS SURVEYED BY CLEARPOINT SERVICES, LLC DATED 10/17/19.

KBA ENGINEERING SERVICES LLC
Engineering | Planning
Joseph J. Kociuba PE, P.P., Principal

PROJECT: Charles Miller, 601 Ocean Road
ADDRESS: 601 Ocean Road
BLOCK: 20
MUNICIPALITY: Borough of Spring Lake Heights
BORING NO.: 2019-001
BORING DESCR.: From Van 417.42

PROJ. # 2019-278
DATE: 10/23/2019
LOT: 17
PREPARE: JKM

DEPTH (FEET)	DESCRIPTION	SOIL CLASSIFICATIONS
1' - 10"	TOP	GW Well-graded gravels, gravel-sand mixtures, little or no fines.
10" - 12"	SP	GP Poorly graded gravels or gravel-sand mixtures, little or no fines.
-	-	GM Silty gravels, gravel-sand mixtures.
-	-	GC Clayey gravels, gravel-sand mixtures.
-	-	SW Well-graded sands or gravelly sands, little or no fines.
-	-	SP Poorly graded sands, or gravelly sands, little or no fines.
-	-	SM Silty sands, sand-silt mixtures.
-	-	SC Clayey sands, sand-silt mixtures.
-	-	ML Organic silts and very fine sands, rock flour, silt or clayey fine sands or clayey silts with slight plasticity.
-	-	CL Organic clays of low to medium plasticity, gravel, clay, sandy clay, silty clay, lean clay.
-	-	OL Organic silts and organic silty clays of low plasticity.
-	-	MH Organic silts, medium or substantial free water or silty silts, elastic silts.
-	-	CH Organic clays of high plasticity, fat clays.
-	-	OH Organic clays of medium to high plasticity, organic silts.
-	-	PT Peat and other highly organic soils.

Seasonal High Water Table Depth 23.32' @ 28.44'

2017 Route 35, Bldg E, Ste 203, Manasquan, NJ 08736
P: (732) 722-8555 F: (732) 722-8557
KBAEngineers.com | info@KBAEngineers.com

STORMWATER CALCULATIONS

ALL ROOF AREAS = 1,300 S.F.
NUNGS = 1.50" / 2 HRS
VOL. = 1,300 S.F. X (1.50" / (12" / 1')) = 162.5 C.F. REQUIRED

47.0" WIDE + 6.0" SPACING = 53.0" C-C ROW SPACING

1 CHAMBERS/ROW X 7.00' LONG +1.00' ROW ADJUSTMENT = 8.00' ROW LENGTH +6.0" END STONE X 2 = 9.00' BASE LENGTH

2 ROWS X 47.0" WIDE + 6.0" SPACING X 1 + 6.0" SIDE STONE X 2 = 9.33" BASE WIDTH

6.0" BASE + 26.5" CHAMBER HEIGHT + 9.0" COVER = 3.46' FIELD HEIGHT

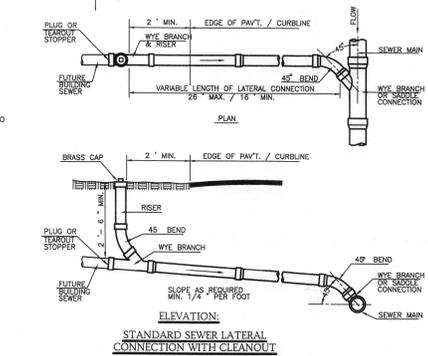
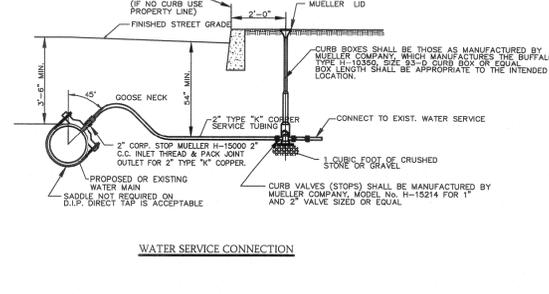
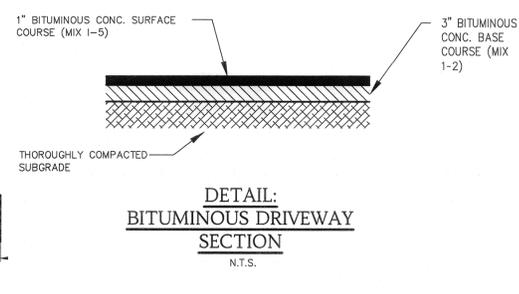
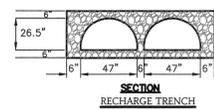
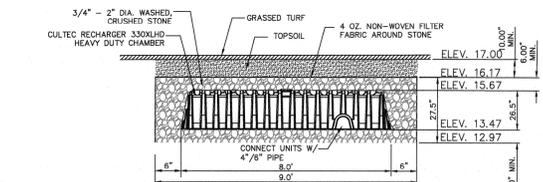
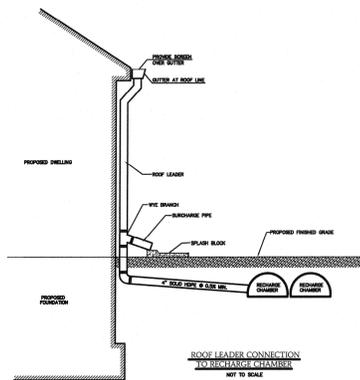
2 CHAMBERS X 42.5 CF +1.00' ROW ADJUSTMENT X 6.07 SF X 2 ROWS = 97.1 CF CHAMBER STORAGE

290.5 CF FIELD - 97.1 CF CHAMBERS = 193.4 CF STONE X 40.0% VOIDS = 77.3 CF STONE STORAGE

CHAMBER STORAGE + STONE STORAGE = 174.5 CF = 0.004 AF OVERALL STORAGE EFFICIENCY = 60.1%

2 CHAMBERS
10.8 CY FIELD
7.2 CY STONE

162.5 C.F. REQUIRED < 174.5 C.F. PROVIDED



1. 1/14/2020 REVISED DRIVEWAY PER TOWNSHIP REQUIREMENTS

REV. NO. DATE DESCRIPTION

PLOT PLAN

601 OCEAN ROAD
BLOCK 20 - LOT 17
FOR AC CONSTRUCTION MGT. LLC.

BOROUGH OF SPRING LAKE HEIGHTS
MONMOUTH COUNTY, NEW JERSEY

KBA ENGINEERING SERVICES LLC
Engineering | Planning
Joseph J. Kociuba PE, P.P., Principal

2517 Route 35, Bldg E, Ste 203
Manasquan, NJ 08736
P: (732) 722-8555 F: (732) 722-8557
KBAEngineers.com
Plans@KBAEngineers.com
Certificate of Authority No.: 24G0229200

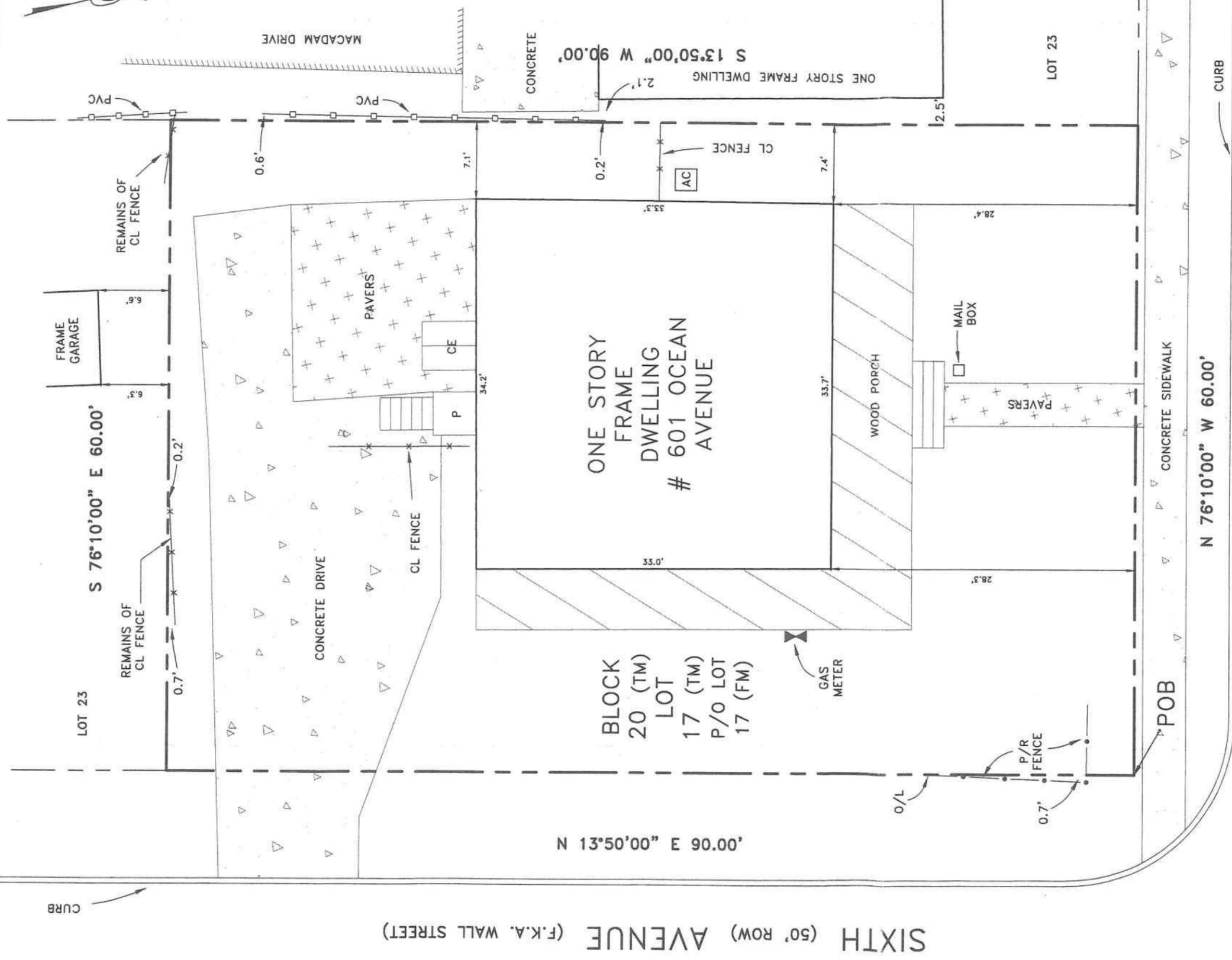
DRN	CHK
JJK	JJK

PROJECT NO. 2019-278
SCALE AS SHOWN
DATE 12/9/19
SHEET 1 OF 1

JOSEPH J. KOCIUBA, P.E., P.P.
P.E. License No.: GE45850

FM 1" = 10'

REFERENCES: DEED BOOK 9211 PAGE 7507; MAP ENTITLED "REVISED MAP OF VILLA PARK", FILED ON 06-21-1888 AS CASE No. 33-4; BOROUGH OF SPRING LAKE HEIGHTS TAX MAPS



OCEAN (50' ROW) AVENUE

N 76°10'00" W 60.00'

N 13°50'00" E 90.00'

BLOCK 20 (TM)
LOT 17 (TM)
P/O LOT 17 (FM)

ONE STORY
FRAME
DWELLING
601 OCEAN
AVENUE

B S I

"A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L. 2003,c.14 (N.J.S.A.45:8-36:3) and N.J.A.C.13:40-5.1(d)."

Brunswick Surveying Incorporated
Licensed Land Surveyors
61 Stelton Road Piscataway, New Jersey 08854
Phone(732) 752-0100 Fax(732) 752-0101

PLAN OF SURVEY
Albert Seniszyn
Charles Maffey
Borough of Spring Lake Heights
Monmouth County, New Jersey
Block 20 Lot 17

Certificate of Authorization No. 24GA27940000

Drawn by DF Job No. 16619 Date 2/25/2019
Checked by RMH Sheet No. 1" = 10'

I hereby certify this survey to:
Albert Seniszyn and Charles Maffey; Vested Land Services, LLC; WFG National Title Insurance Company; Gary A. Bundy, Esq.;

ROBERT M. HORVATH
New Jersey Land Surveyor No. 27476
 JAY A. STUHL, JR.
New Jersey Land Surveyor No. 36762

WHERE ASTERISKS ARE SHOWN:

- ITEMS NOTED WITH A SINGLE ASTERISK (*) SHALL BE PROVIDED BY SIMPLEX, SHIPPED LOOSE, AND INSTALLED DURING THE SET BY SET CREW AT THE JOB SITE, PER LOCAL CODES.
- ITEMS NOTED WITH A DOUBLE ASTERISK (**) SHALL BE PROVIDED BY SIMPLEX, SHIPPED LOOSE, AND INSTALLED BY THE BUILDER AT THE JOB SITE, PER LOCAL CODES.
- ITEMS NOTED WITH A TRIPLE ASTERISK (***) SHALL BE PROVIDED AND INSTALLED BY THE BUILDER AT THE JOB SITE, PER LOCAL CODES.
- ITEMS NOTED WITH FOUR ASTERISK (****) SHALL BE PROVIDED AND INSTALLED BY THE SET CREW AT THE JOB SITE, PER LOCAL CODES.
- ELEVATIONS AS SHOWN HERE MAY VARY AND/OR BE TYPICAL OF CONSTRUCTION ONLY, IN ALL CASES REFER TO HOUSE ORDER AND FLOOR PLAN(S) FOR ACTUAL QUANTITY AND LOCATION OF DOOR(S) AND WINDOWS, AND ACTUAL WIDTH AND LENGTH OF HOME.
- IT IS THE BUILDER RESPONSIBILITY TO ENSURE ALL WORK TO BE DONE ON-SITE BY THE BUILDER, AND/ OR HIS AGENTS, IS TO BE DONE IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REGULATIONS.
- THE SALES CONTRACT IS THE CONTROLLING DOCUMENT, IF ANY QUESTIONS OR DISCREPANCIES ARISE ON ANY OTHER DOCUMENTS, FOR EXAMPLE: PRINTS ETC., THE SALES CONTRACT TAKES PRECEDENCE.

BUILDER INFORMATION:

1. IT IS THE BUILDER'S RESPONSIBILITY TO INFORM SIMPLEX INDUSTRIES, INC. OF ANY LOCAL CODE ISSUES OR SITE RELATED REQUIREMENTS THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE MODULES TO BE ERECTED ON THE SITE.

FOUNDATION DESIGN:

THE MEASUREMENTS ON THE FOUNDATION PLAN ARE SUBJECT TO CHANGE - REFER TO THE CONFIRMING ORDER AND PRINT.

THE FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY AND IS ONLY SUGGESTED AND SHALL NOT BE USED FOR EXECUTION. THE FOUNDATION DESIGN SHALL BE BASED ON SITE SPECIFIC SOIL CONDITIONS AT THE LOCATION SITE. THE FOUNDATION SHALL BE DESIGNED BY A LICENSED ENGINEER OR ARCHITECT IF REQUIRED BY REGULATIONS OF THE PARTICIPATING STATE IN WHICH THE BUILDING IS INTENDED TO BE LOCATED.

WALL AND CEILING FINISHES (R302.9):

WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200.
WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.

STANDARD ELECTRICAL SYMBOLS:

	DATA PANEL LOCATION		SMOKE DETECTOR (AC/DC)		DUPLEX RECEPTACLE SPLIT SWITCHED		RECESS LIGHT FIXTURE		PANEL BOX LOCATION
	LABEL LOCATION (ALL AS NOTED)		SMOKE / CARBON MONOXIDE DETECTOR (AC/DC)		RANGE / DRYER		HEADER LIGHT FIXTURE		THERMOSTAT (WIRE ONLY)
	WIRE, BOX & SWITCH FOR CEILING FAN		PHOTO ELECTRIC SMOKE / CARBON MONOXIDE DETECTOR (AC/DC)		GROUND FAULT INTERRUPT		FAN LIGHT		SINGLE POLE SWITCH
	ATTIC ACCESS 22 1/2" x 30"		PHOTO ELECTRIC SMOKE DETECTOR (AC/DC)		FLOOR RECEPTACLE		FAN ONLY		THREE WAY SWITCH
			DUPLEX RECEPTACLE		WEATHER PROOF		CEILING LIGHT		FOUR WAY SWITCH
					BASEBOARD ELEC. HEATING ELEMENT		HOT WATER BASEBOARD		DIMMER SWITCH



1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON CONDITION THAT IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SIMPLEX INDUSTRIES, INC. FOR FURNISHING INFORMATION TO OTHERS, OR FOR ANY OTHER PURPOSE DETRIMENTAL TO THE INTERESTS OF SIMPLEX INDUSTRIES, INC. WILL BE RETURNED UPON REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE: DUE TO MOISTURE CONTENT OF LUMBER, THERE MAY BE WARPING OR CURVING OF LUMBER DUE TO NATURAL LUMBER SEASONING PROCESS AND MAY OCCUR IN THE FACE OF THE LUMBER. EXTERIOR FINISH APPLICATIONS, EXTERIOR FINISH MATERIALS, AND EXTERIOR FINISH MATERIALS SHOULD BE CONSULTED FOR RECOMMENDATIONS TO ACCORD WITH THE MANUFACTURER'S INSTRUCTIONS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights, NJ 07762
601 Ocean Road
Spring Lake Heights, NJ 07762

BUILDER: AC Construction Mgt.
303 4th ave.
Spring Lake, NJ 07762

DRAWING TITLE: GENERAL NOTES-LEGEND

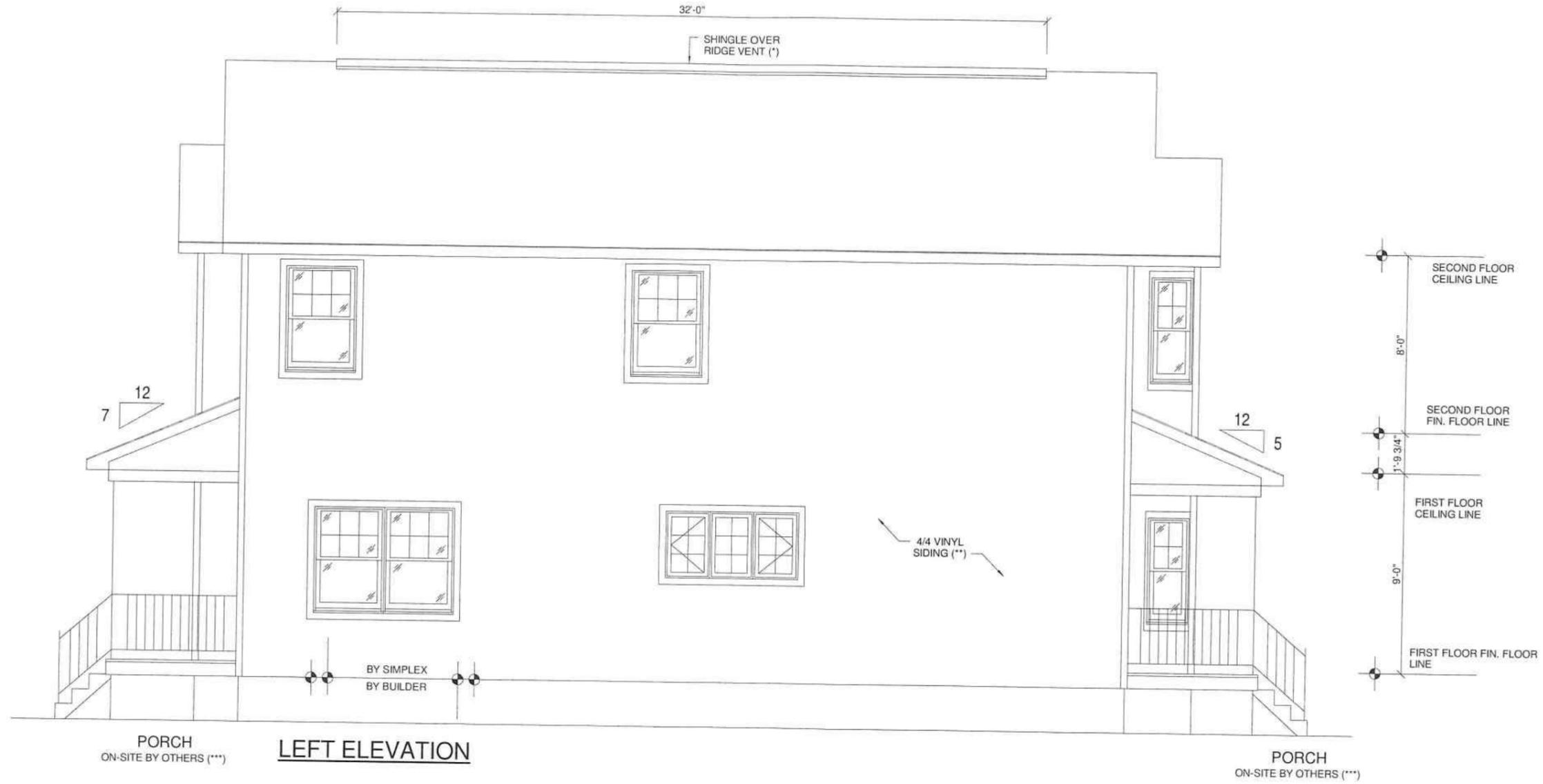
REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	1.1
SCALE:	3/16" = 1'-0"

19-0809 AC Construction - Spec_CENTRAL_detached.rvt

19-0809 AC Construction - Spec_CENTRAL_detached.rvt



LEFT ELEVATION



www.simplexhomes.com -
www.facebook.com/simplex
homes

1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX HOMES. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SIMPLEX HOMES. IT IS FOR THE USE OF THE ARCHITECT, ENGINEER, CONTRACTOR, OR OTHERS, OR FOR ANY OTHER PURPOSE OF REFERENCE TO THE INTEREST OF SIMPLEX AND WILL BE RETURNED TO SIMPLEX UPON REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE: DUE TO MOISTURE CONTENT OF WOOD, SOME SHRINKAGE MAY OCCUR. THE USE OF NATURAL LUMBER DUE TO NATURAL LUMBER SEASONING PROCESS AND MAY AFFECT THE EXTERIOR FINISH. THE CONTRACTOR SHOULD CONSULT THE MANUFACTURER'S INSTRUCTIONS FOR REPAIRS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION	APPROVED BY

CUSTOMER:
Spring Lake Heights
601 Ocean Road
Spring Lake Heights, NJ 07762

BUILDER:
AC Construction Mgt.
303 4th ave.
Spring Lake, NJ 07762

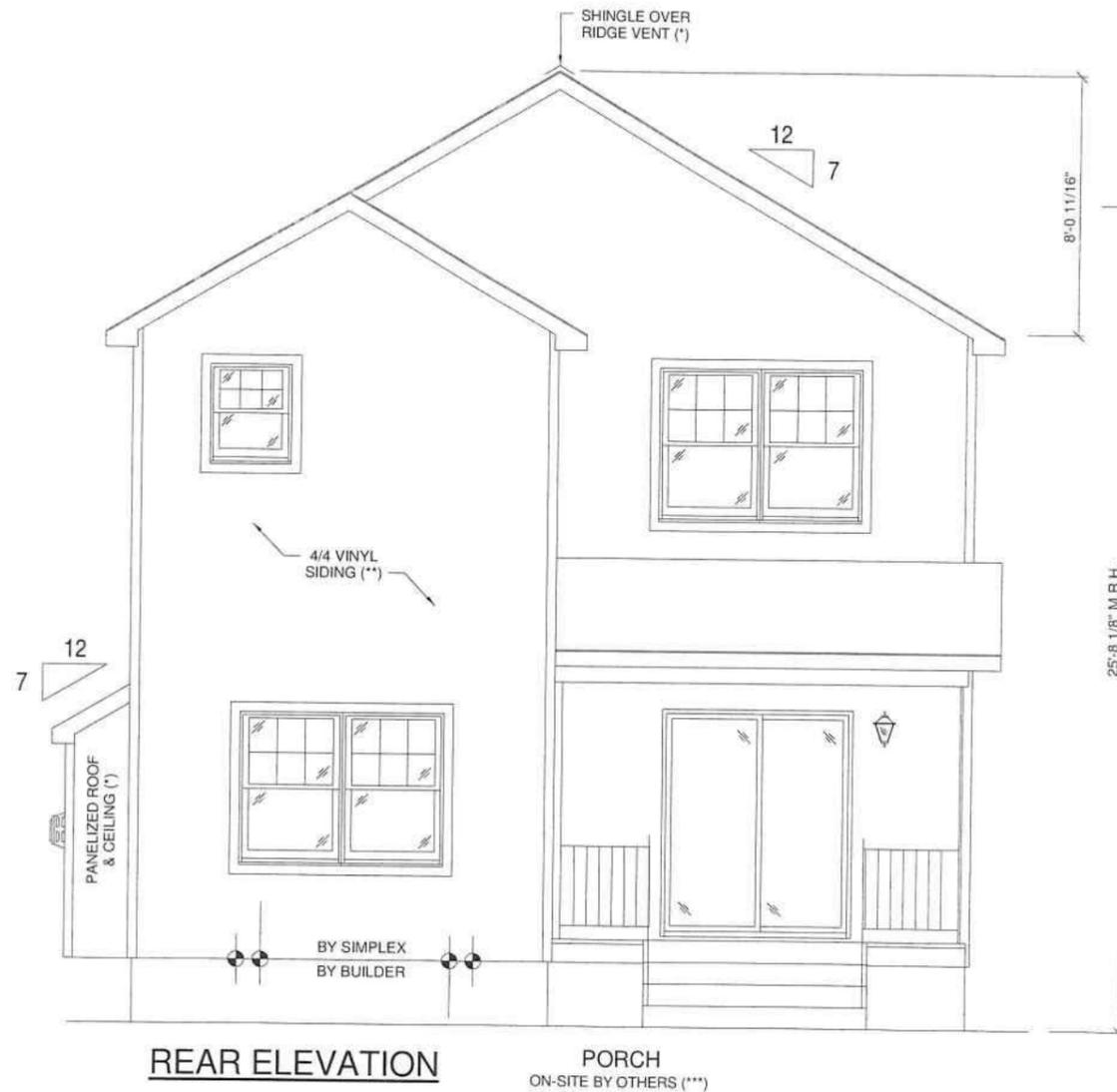
DRAWING TITLE:
LEFT SIDE ELEVATION

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO.:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.:	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No.:	
SCALE:	3/16" = 1'-0"

2.2



REAR ELEVATION

PORCH
ON-SITE BY OTHERS (***)



1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON CONDITION THAT IT IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE FURNISHING INFORMATION TO OTHERS, OR FOR ANY OTHER INTEREST DETRIMENTAL TO THE INTERESTS OF SIMPLEX INDUSTRIES, INC. BE RETURNED UPON REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE: DUE TO MOISTURE CONTENT OF WOOD, THERE MAY BE Slight WARPING OR CURVING IN THE FACE WITH OF THE LUMBER DUE TO NATURAL LUMBER SEASONING PROCESS AND MAY OCCUR IN THE FACE WITH OF THE LUMBER. EXTERIOR FINISH APPLICATION, EXTERIOR FINISH MATERIAL SHOULD CONSULT THE EXTERIOR FINISH MATERIAL RECOMMENDATION FOR PROPER INSTALLATION TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER:
Spring Lake Heights
601 Ocean Road
Spring Lake Heights, NJ 07762

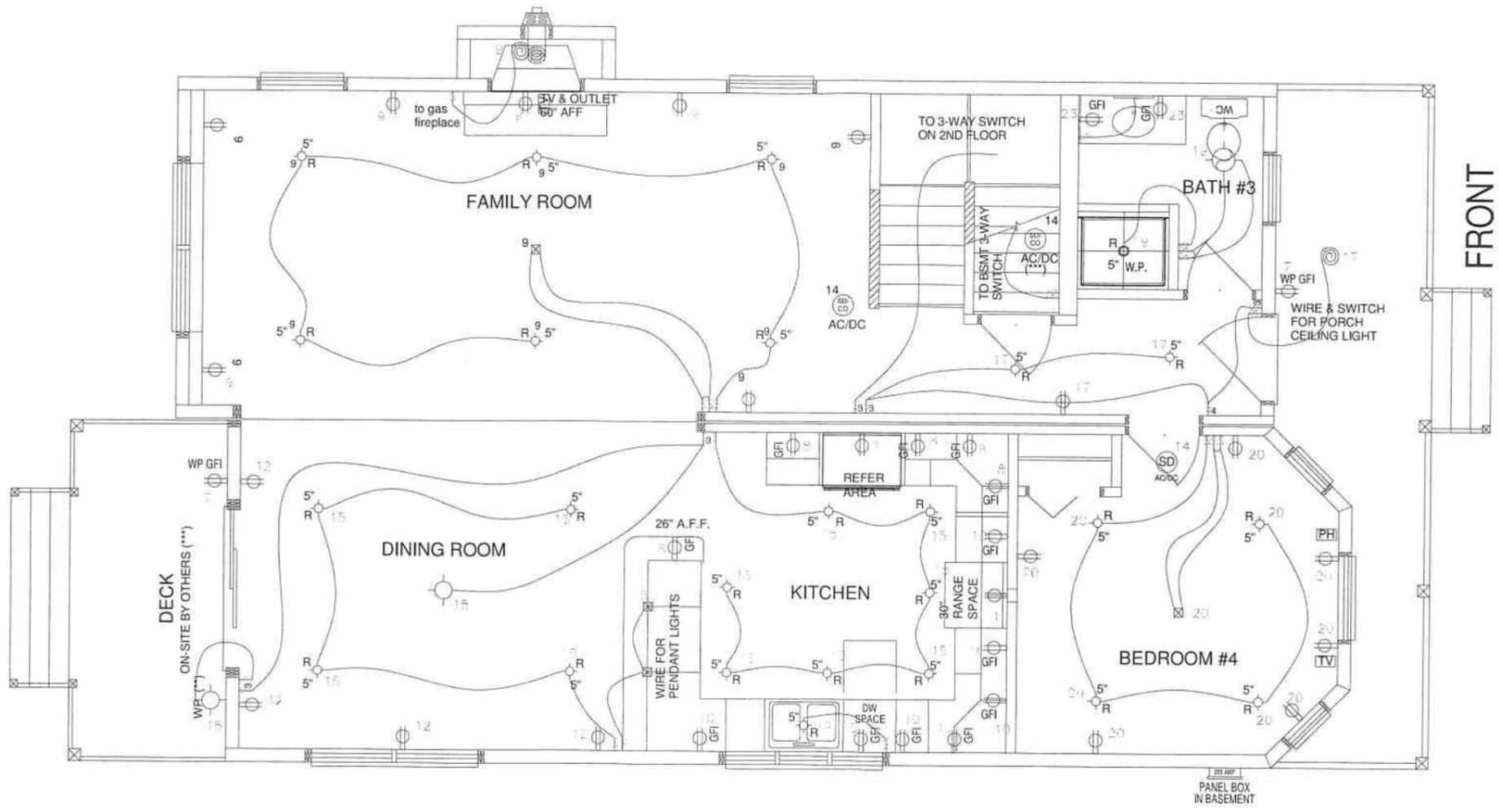
BUILDER:
AC Construction Mgt.
303 4th ave.
Spring Lake, NJ 07762

DRAWING TITLE:
REAR ELEVATION

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO.:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.:	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No.:	2.3
SCALE:	3/16" = 1'-0"



1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON THE CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR USED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF SIMPLEX. SIMPLEX AND ITS AGENTS WILL NOT BE RESPONSIBLE FOR ANY DAMAGES, LOSSES, OR INJURIES THAT MAY OCCUR AS A RESULT OF THE USE OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO SIMPLEX INDUSTRIES, INC.

NOTE: MOISTURE CONTENT OF WOOD, SOME SHRINKAGE MAY OCCUR IN THE FACE WIDTH OF THE LUMBER DUE TO NATURAL LUMBER VARIATION. THIS MAY AFFECT THE EXTERIOR FINISH APPLICATION. EXTERIOR FINISH INSTALLED SHOULD CONSULT THE MANUFACTURER FOR RECOMMENDED INSTALLATION INSTRUCTIONS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights
801 Ocean Road
Spring Lake Heights, NJ 07762

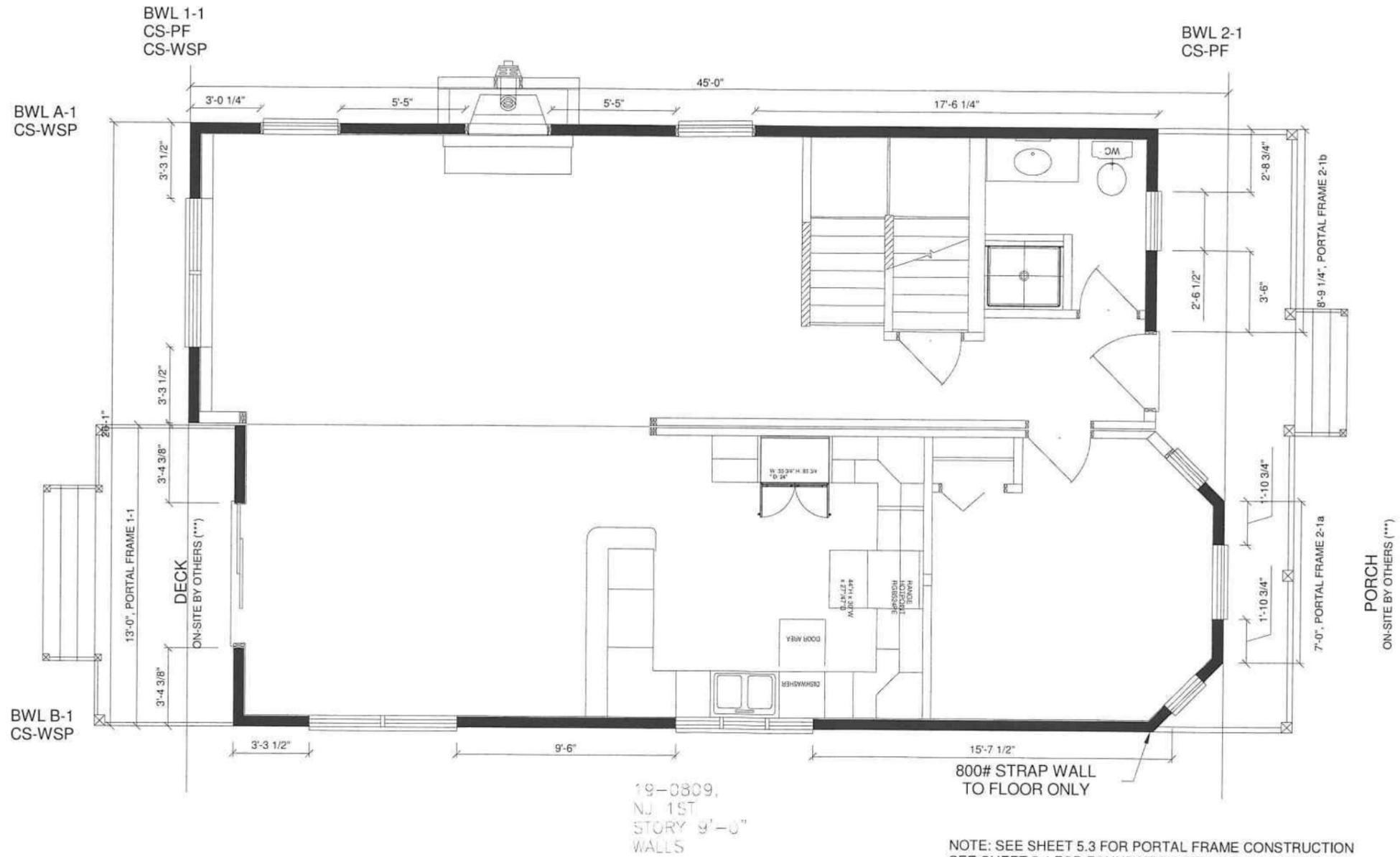
BUILDER: AC Construction Mgt.
303 4th ave.
Spring Lake, NJ 07762

DRAWING TITLE: 1ST FLOOR ELECTRICAL PLAN

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO:	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	4.1
SCALE:	3/16" = 1'-0"



1 Simplex Drive, Scranton, PA 18504

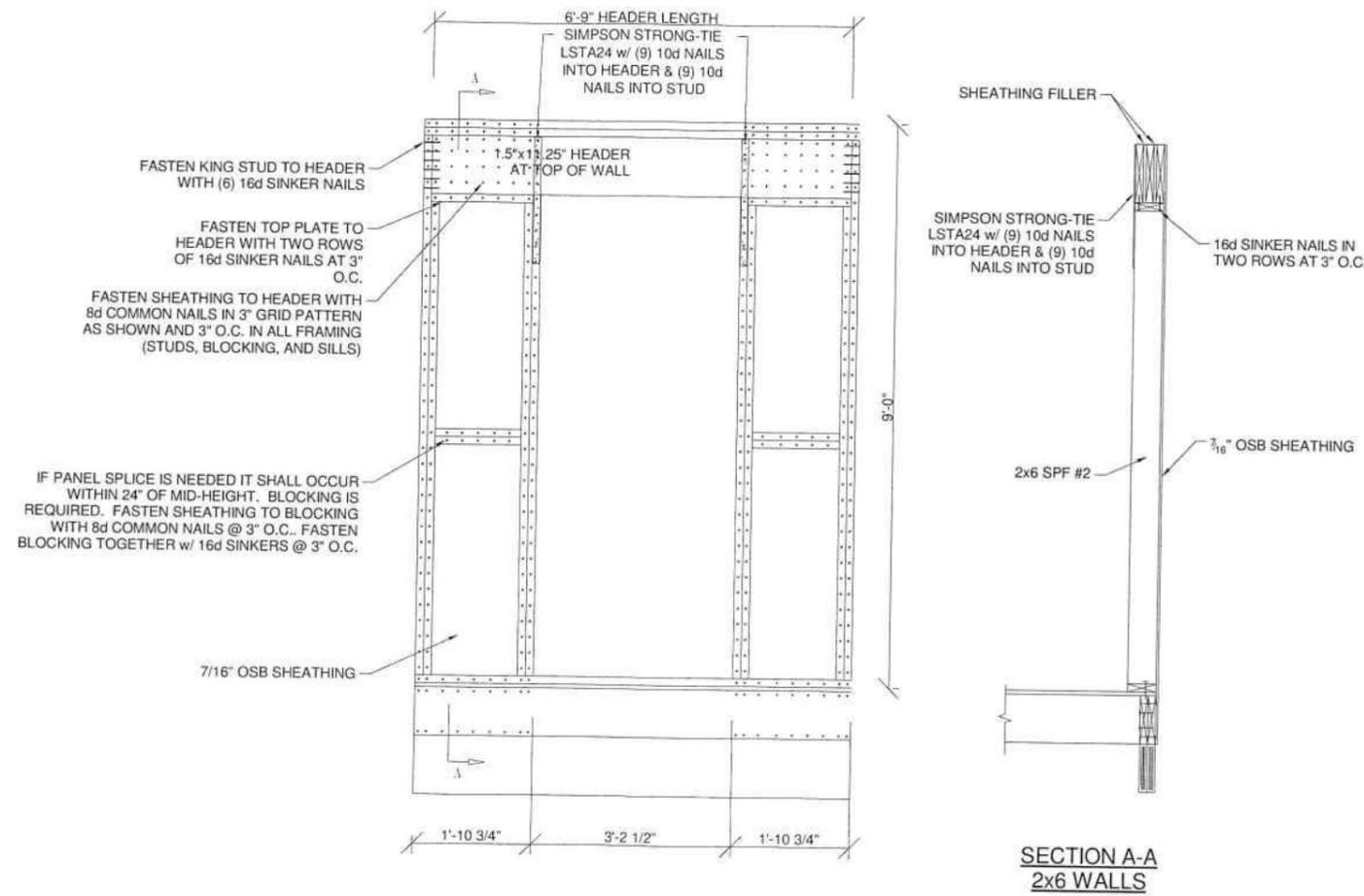
THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON THE CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF SIMPLEX INDUSTRIES, INC. ALL RIGHTS ARE RESERVED. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND SERVICES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND SUPPLIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LABOR AND SERVICES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING.

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights 601 Ocean Road Spring Lake Heights, NJ 07762	BUILDER: AC Construction Mgt. 303 4th ave. Spring Lake, NJ 07762
DRAWING TITLE: 1ST FL. BRACED WALLS-NOTES	

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
 Approval limited to
 Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	5.1
SCALE:	3/16" = 1'-0"



CONTINUOUS PORTAL FRAME - CS-PF

THIS DRAWING IS THE PROPERTY OF SIMPLEX HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN PERMISSION OF SIMPLEX HOMES. SIMPLEX HOMES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE INTEREST OF SIMPLEX AND WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE INTEREST OF OTHERS. REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE:
DUE TO MOISTURE CONTENT OF WOOD, SOME SHRINKAGE MAY OCCUR. SIMPLEX HOMES RECOMMENDS THAT THE LUMBER BE SEASONED TO THE MOISTURE CONTENT OF THE EXTERIOR FINISH MATERIAL. THE EXTERIOR FINISH MATERIAL SHOULD BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS TO AVOID POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION	APPROVED BY

CUSTOMER:
Spring Lake Heights
601 Ocean Road
Spring Lake Heights, NJ 07762

BUILDER:
AC Construction Mgt.
303 4th ave.
Spring Lake, NJ 07762

DRAWING TITLE:
TYP. CS-PF PORTAL WALL

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

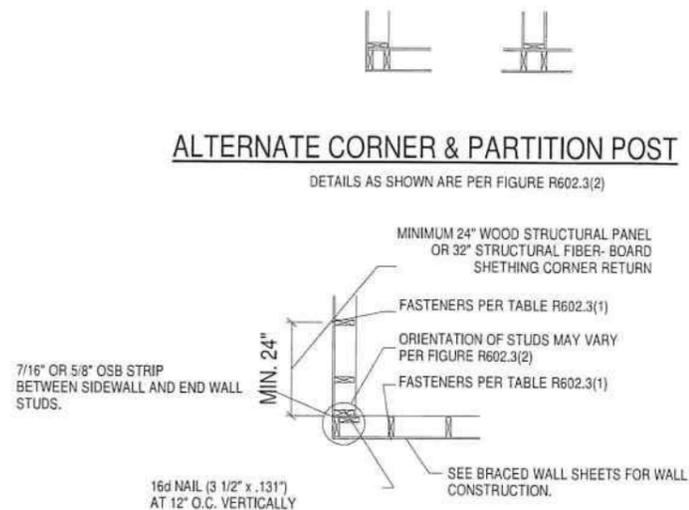
ENG. NO.:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.:	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No.:	5.3
SCALE:	3/8" = 1'-0"

THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON REVISION THAT IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. FOR FURNISHING INFORMATION TO OTHERS, OR FOR ANY OTHER PURPOSES, CONTACT THE PROJECT MANAGER AT THE INTEREST OF SIMPLEX AND WILL BE RETURNED UPON REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE: MOISTURE CONTENT OF WOOD. SOME SHRINKAGE MAY OCCUR IN THE FACE WIDTH OF THE LUMBER DUE TO NATURAL LUMBER VARIATION. THIS MAY AFFECT THE EXTERIOR FINISH APPLICATION. EXTERIOR FINISH INSTALLED SHOULD CONSULT THE MANUFACTURER FOR RECOMMENDED INSTALLATION INSTRUCTIONS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

ALTERNATE CORNER & PARTITION POST

DETAILS AS SHOWN ARE PER FIGURE R602.3(2)



NOTE: 1

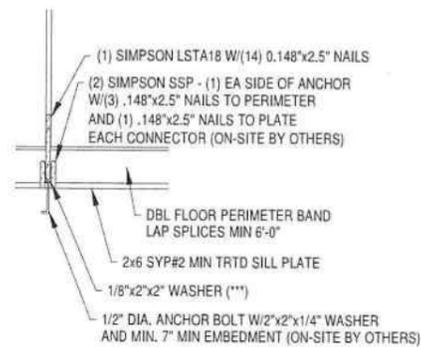
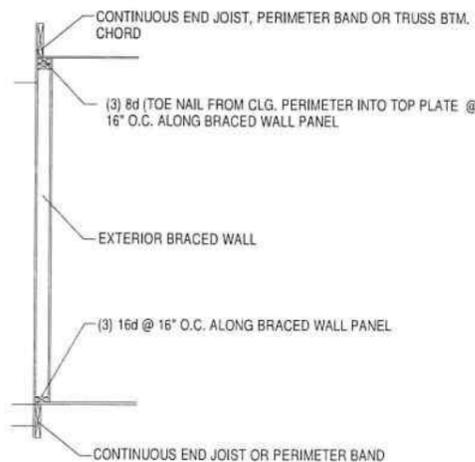
EXTERIOR WALL: 5/8" O.S.B. SHEATHING FASTENED WITH 0.113 X 2" NAILS @ 6" OC AT EDGES AND 12" OC IN FIELD. INSTALL BLOCKING AT ALL HORIZONTAL PANEL EDGES

NOTE: 2

INSTALL 2x6 VERTICAL BLOCKING BETWEEN STUDS UNDER DBL. TOP PLATE THIS AREA TO INSURE HIGH WIND SHEATHING FASTENING AT PANEL EDGES.

TYPICAL OUTSIDE CORNER DETAIL

DETAILS AS SHOWN ARE PER FIGURE R602.10.4.4(1)



Overturning Hold Down - up to 800#

EXTERIOR BRACED WALL TO FLOOR/CEILING FRAMING

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights 601 Ocean Road Spring Lake Heights, NJ 07762	BUILDER: AC Construction Mgt. 303-4th ave. Spring Lake, NJ 07762	DRAWING TITLE: BRACED WALL DETAILS
---	---	--

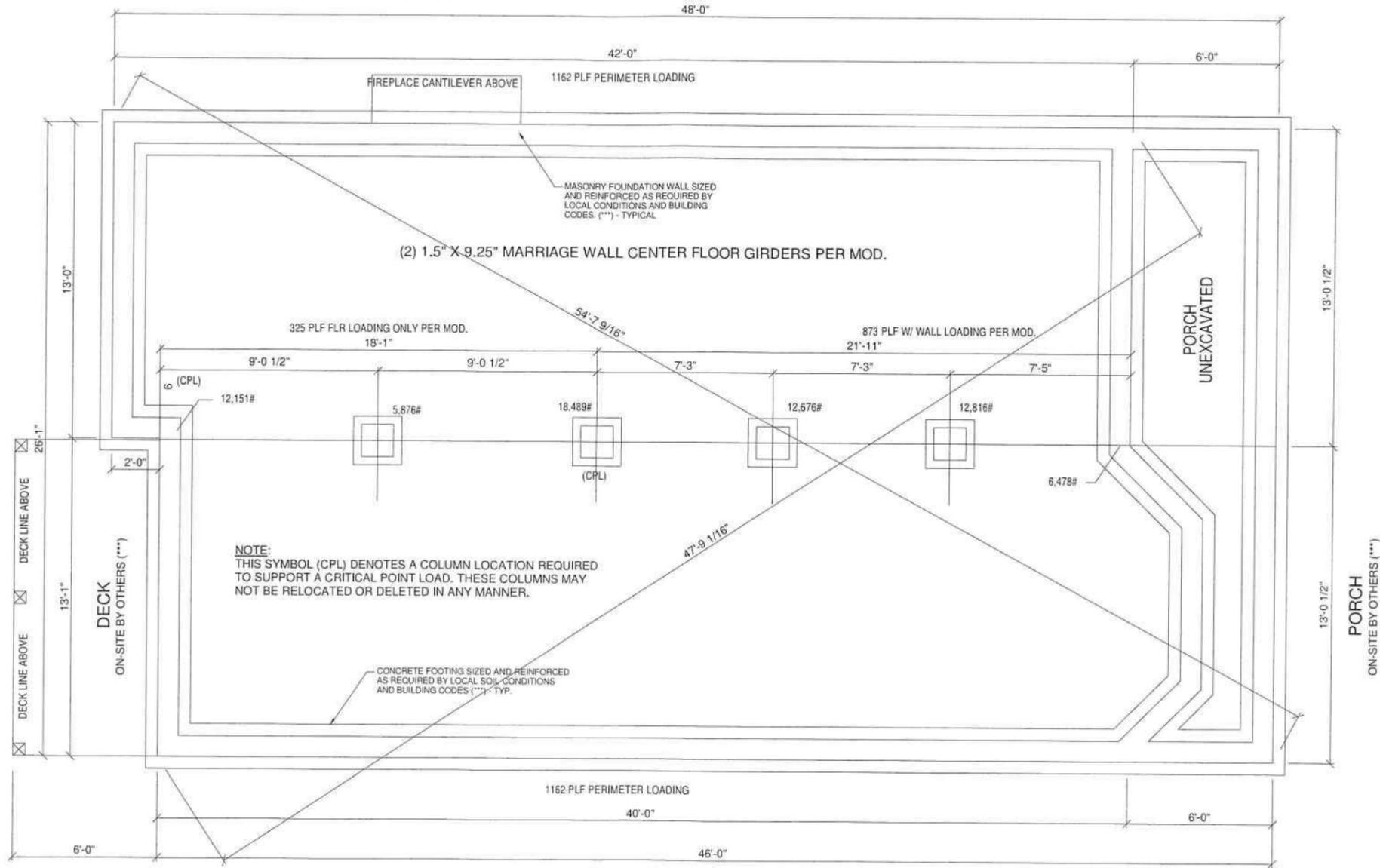
REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	5.4
SCALE:	1/4" = 1'-0"

NOTE: SUPERIOR WALL FOUNDATION.

NEW JERSEY FND NOTES:
 1. THE FOUNDATION AND THE SITE PLAN SHALL BE DESIGNED BY A NJ REGISTERED ARCHITECT OR LICENSED PROFESSIONAL ENGINEER AND SIGNED AND SEALED IN ACCORDANCE WITH THE PROVISIONS OF N.J.A.C. 5:23-2.15 (e) 1.VIII AND NJ UCC BULLETIN #96-2
 2. THE FOUNDATION SHALL BE DESIGNED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF CHAPTER 4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE (NEW JERSEY EDITION).



NOTE: THE FOUNDATION DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY AND IS ONLY SUGGESTED AND SHALL NOT BE USED FOR EXECUTION. THE FOUNDATION DESIGN SHALL BE BASED ON SITE SPECIFIC SOIL CONDITIONS AT THE LOCATION SITE. THE FOUNDATION SHALL BE DESIGNED BY A LICENSED ENGINEER OR ARCHITECT IF REQUIRED BY REGULATIONS OF THE PARTICIPATING STATE IN WHICH THE BUILDING IS INTENDED TO BE LOCATED.



1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED UPON THE CONDITION THAT IT IS NOT TO BE REPRODUCED, COPIED, OR USED FOR WHOLE OR IN PART, OR USED FOR FURNISHING INFORMATION TO OTHERS, OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN INTEREST OF SIMPLEX AND WILL BE RETURNED UPON REQUEST TO SIMPLEX INDUSTRIES, INC.

NOTE: MOISTURE CONTENT OF WOOD, SOME SHRINKAGE MAY OCCUR IN THE FACE WIDTH OF THE LUMBER DUE TO NATURAL LUMBER VARIATION. THIS MAY AFFECT THE EXTERIOR FINISH APPLICATION. EXTERIOR FINISH INSTALLED SHOULD CONSULT THE MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights
 601 Ocean Road
 Spring Lake Heights, NJ 07762

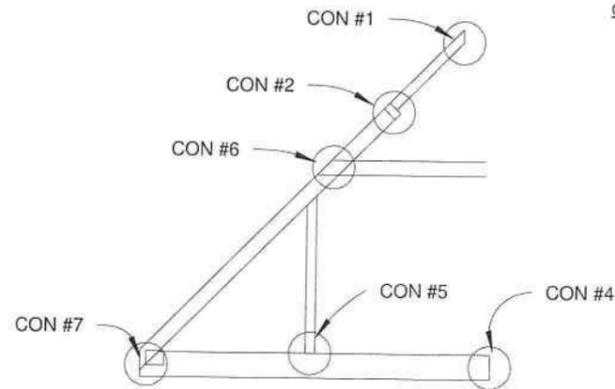
BUILDER: AC Construction Mgt.
 303 4th ave.
 Spring Lake, NJ 07762

DRAWING TITLE: SUG. FOUNDATION PLAN

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
 12/4/19
 Approval limited to
 Factory Built Portion

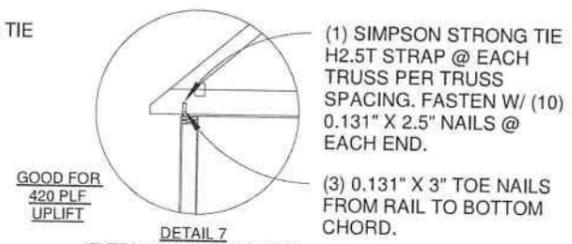
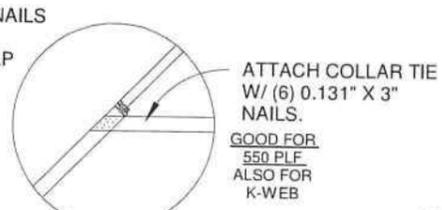
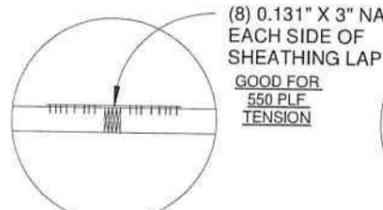
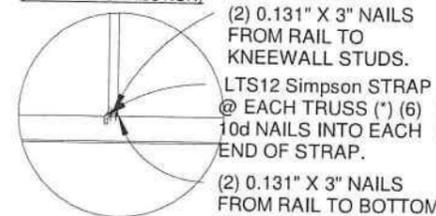
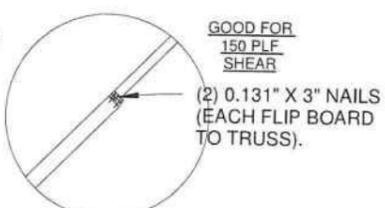
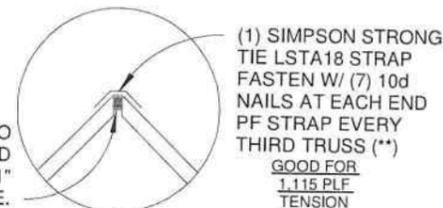
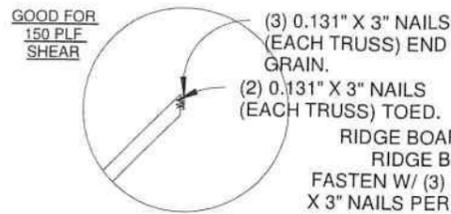
ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	
SCALE:	3/16" = 1'-0"



HINGED MONO - STORAGE TRUSS

ALL CONNECTIONS BASED ON REACTIONS PROVIDED BY TRUSS MANUFACTURER'S TRUSS DESIGN. REFER TO INDIVIDUAL TRUSS DRAWING FOR ADDITIONAL MANUFACTURER SPECIFIED CONNECTIONS.

CONNECTIONS PER SIMPLEX INDUSTRIES CALCULATIONS PACKAGE



THIS DRAWING IS THE PROPERTY OF SIMPLEX AND IS LOANED, REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SIMPLEX. IT IS TO BE USED FOR THE PROJECT AND FOR NO OTHER PURPOSE. SIMPLEX AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY OF SIMPLEX INDUSTRIES, INC.

NOTE: DUE TO MOISTURE CONTENT OF LUMBER, THERE MAY BE SHRINKAGE OCCUR IN THE FINISHED LUMBER DUE TO NATURAL LUMBER SEASONING PROCESS AND MAY VARY. THE EXTERIOR FINISH APPLICATED TO THE EXTERIOR SHOULD CONSULT THE INSTALLER FOR RECOMMENDATION. INSTRUCTIONS TO ACCOUNT FOR POSSIBLE WOOD SHRINKAGE.

NO.	DATE	DESCRIPTION	APPROVED BY

CUSTOMER: Spring Lake Heights 601 Ocean Road Spring Lake Heights, NJ 07762	BUILDER: AC Construction Mgt. 303 4th ave. Spring Lake, NJ 07762
---	---

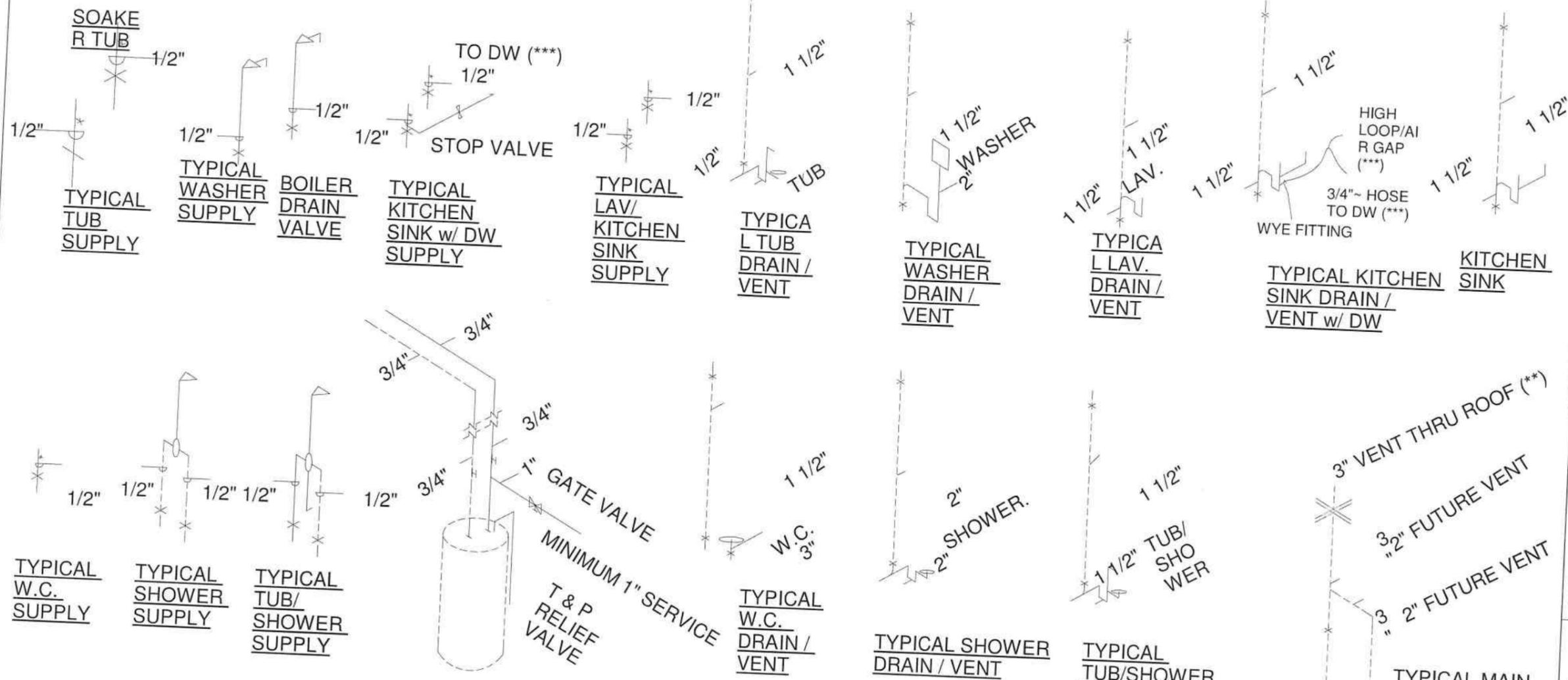
REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
12/4/19
Approval limited to
Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO:	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	
SCALE:	3/16" = 1'-0"

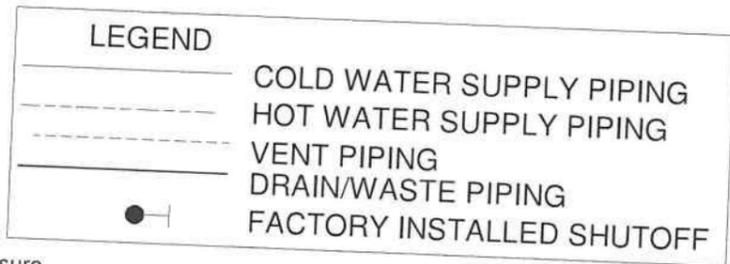
TRUSS CONNECTIONS

19-0809 AC Construction - Spec_CENTRAL_detached.rvt



PLUMBING NOTES:

- All drain lines to be PVC
- All factory plumbing for ranch, cape and first floor of two story models are run to a central area in the second floor where connections can be made to the first floor stubbs in the ceiling cavity through either a ceiling or floor access. The materials to make these connections between floors are to be provided and installed by others on site per local/state codes.
- Plumbing below ranch, cape and first floor of two story models is not provided by the factory.
- * denotes 3" frost free vents where required.
- Factory not responsible for on site connections.
- All water lines to be copper type 'L' w/ lead free solder or pex.
- All fittings for water lines to be bronze or wrought copper or pex.
- All plumbing below floor must conform w/ local and state codes.
- All waste and vent lines to be PVC w/ solvent welded joints.
- Tub and/or shower shutoff in basement by builder/dealer.
- All vents through roof increase to 3".
- All vent piping connections shall be the responsibility of the builder/dealer
- 1.6 Gallon flush throughout the house.
- Maximum pressure: the static water pressure shall be not greater than 80 psi. Where the main pressure exceeds 80 psi, an approved pressure reducing valve conforming to ASSE 1003 or B356 shall be installed on the domestic water branch main or riser at the connection to the water service pipe.



1 Simplex Drive, Scranton, PA 18504

THIS DRAWING IS THE PROPERTY OF SIMPLEX HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN PERMISSION OF SIMPLEX HOMES. SIMPLEX HOMES SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES, DIRECT OR INDIRECT, ARISING FROM THE USE OF THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE SYSTEMS SHOWN HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE SYSTEMS SHOWN HEREON.

NO.	DATE	DESCRIPTION	REVISIONS	APPROVED BY

CUSTOMER: Spring Lake Heights, NJ 07762
 601 Ocean Road
 Spring Lake Heights, NJ 07762

BUILDER: AC Construction Mgt.
 303 4th ave.
 Spring Lake, NJ 07762

DRAWING TITLE: PLUMBING SCHEMATIC

REGISTERED ARCHITECT / PE STAMP

PFS Corporation
Northeast Region
APPROVED
H Raup - 3
 12/4/19
 Approval limited to
 Factory Built Portion

ENG. NO:	19-0809
ENG. DATE:	11/20/19
SERIAL NO.	
DRAWING BY:	MEB
CHECKED BY:	
DRAWING No:	8.0
SCALE:	3/16" = 1'-0"

LEON S. AVAKIAN, INC. *Consulting Engineers*

788 WAYSIDE ROAD • NEPTUNE, NEW JERSEY 07753

LEON S. AVAKIAN, P.E., P.L.S. (1953-2004)
PETER R. AVAKIAN, P.E., P.L.S., P.P.
MEHRYAR SHAFAI, P.E., P.P.
GREGORY S. BLASH, P.E., P.P.
LOUIS J. LOBOSCO, P.E., P.P.
GERALD J. FREDA, P.E., P.P.
WILLIAM D. PECK, P.E., P.P.
RICHARD PICATAGI, L.L.A., P.P.
JENNIFER C. BEAHM, P.P., AICP

January 3, 2020

Chairman Dennis Pearsall
Borough of Spring Lake Heights
555 Brighton Avenue
Spring Lake Heights, NJ 07762

**Re: Residential Bulk Variance Application
Block 20, Lot 17
601 Ocean Road
Spring Lake Heights, NJ
Our File SLHBA 19-10**

Dear Chairman Pearsall:

We are in receipt of a development application for the above referenced property. The Applicant applied to construct a new house with a front and back porch and a new driveway on an undersized lot. The improvements require variances for the front yard setback and no screening of mechanical equipment in a side yard. Block 20, Lot 17, 601 Ocean Road is on the southwest corner of Ocean Road and Sixth Avenue. The original house on this lot was recently demolished.

Please note that Borough Ordinance 22-517.6 for Nonconforming Lot states that a building permit may be issued without an appeal for variance:

Any nonconforming lot not meeting the definition of the previous subsection may have a building permit issued for a permitted use without an appeal for a variance, provided the building coverage is not exceeded, parking requirements are met and the nonconforming lot abuts lots on either side that are developed and the nonconforming lot is the largest possible assemblage of contiguous land under the preceding section. Where the nonconforming lots abuts either a vacant lot or an oversized developed lot, the issuance of a building permit may be delayed until the approving authority determines the reasonableness of requiring the applicant to acquire additional land to reduce or eliminate the nonconformity. Where the resulting lot is still nonconforming, the yard and height provisions may be reduced to the same percentage the area of the undersized lot bears to the zone district requirements, except that no side yard shall be less than half that required by this chapter or five (5') feet, whichever is greater, and no building shall be required to have a height less than twelve (12') feet. (Ord. #6-1989, §517.6)

All application and escrow fees have been paid in full with the original application, therefore, this application is deemed complete for review by the Zoning Board of Adjustment.

This office has reviewed the Development Application, Addendum No. 1 with exhibit and the following documents:

1. Plan of Survey by Robert M. Horvath dated 2/25/19
2. Plot Plan 601 Ocean Road, Block 20, Lot 17 by KBA Engineering Services, LLC sheet 1 of 1 dated 12/9/19

3. PFS Corporation plans, Simplex Homes dated 11/20/19
4. Sustainable checklist forms
5. Request for Taxpayer Identification Number and certification W-9 form

The Required, Existing and Proposed schedule of permitted uses, yard area and bulk requirements for this lot are as follows:

R-5 ZONE

		Required or Allowed	Existing (Before Demo)	Proposed	22-517.6
Use		Single Family	Single Family	Single Family	Single Family
Minimum Lot Area		7,500 sf	5,400 sf (NC)	5,400 sf (NC)	72%
Minimum Lot Frontage		50'	60'	60'	----
Minimum Lot Width		50'	60'	60'	----
Minimum Lot Depth		150'	90' (NC)	90' (V) ✓	----
Principal Building Setbacks	Front Yard (Ocean Road)	30'	28.4' (NC)	31'	21.6' •
	Front Porch Landing (Ocean Road)	22'	20.8' (NC)	25'	15.8' •
	Front Yard (6 th Avenue)	30'	13.1'(NC)	23.84' (V) ✓	21.6' •
	Back Yard (South)	10'	28.3'	13'	7.2'
	Side Yard (West)	10'	7.1' (NC)	10.16'	7.2'
Accessory Building Setback	Front Yard	30'	(NA)	(NA)	----
	Back Yard	5'	(NA)	(NA)	----
	Side Yard	5'	(NA)	(NA)	----
	Side Yard	5'	(NA)	(NA)	----
Maximum Height	Principal	32'	(NG)	30.9'	23'
	Accessory	15'	(NG)	(NG)	----
Maximum Building Coverage		25%	30.27% (NC)	24.07%	----
Maximum Lot Coverage		50%	53.16% (NC)	33.59%	----
Minimum Parking Space		2	2	2	----
Driveway Setback		2'	2'	4'	----
Drywells (Water Infiltration System)		Required	NO (NC)	YES	----
Mechanical Equipment in Side Yard		Screened	NO (NC)	NO (V) ✓	----

(V) = Required Variance
 (NA) = Not Applicable

(NC) = Pre-existing Non-conformity
 (NG) = Not Given

The lot before demolition had many nonconformities listed below:

1. An undersized lot of 5,400 sf and 90' depth where 7,500 sf and 150' are required.
2. A front yard setback off Ocean Road of 28.4 feet where 30 feet is required
3. A front yard setback for a porch or landing off Ocean Road of 20.8 feet where 22 feet is required
4. A front yard setback off of 6th Avenue of 13.1' where 30'is required
5. A side yard setback to the east of 7.1' where 10 feet is required
6. A maximum building coverage of 30.27% where 25% is allowed

7. A maximum lot coverage of 53.6% where 50% is allowed.
8. No drywells on property and drywells or water infiltration systems are now required (22-609.9).
9. The mechanical equipment in the side yard was not screened.

The Applicant's proposal appears to require the following variances:

1. A front yard setback off 6th Avenue of 23.84' where 30 feet is allowed although Ordinance 22-517.6 states a permit can allow reduced yard and height provisions 72% to 21.6'
2. No screening of the A.C. pad

Please be advised that Ordinance 22-517.6 states that a building permit for an undersized lot could allow yard and height provisions to be reduced by 72%:

1. A front yard setback off of Ocean Road at 72% in the R-5 Zone would be 21.6'.
2. A front porch landing off of Ocean Road at 72% in the R-5 Zone would be 15.8'
3. A maximum building height at 72% in the R-5 Zone would be 23.04'.

Variance Testimony

As per the Borough Ordinance 22-200.2 variance can be granted:

- A. Where by reason of exceptional narrowness, shallowness or shape of a specific piece of property, or by reason of exceptional topographic conditions or physical features uniquely affecting a specific piece of property, or by reason of extraordinary and exceptional situation uniquely affecting specific piece of property of structures lawfully existing thereon, the strict application of any regulation in the zoning provisions of this chapter would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer of such property, grant, upon an application or an appeal relating to such property a variance from such strict regulation so as to relieve such difficulties or hardship.
- B. Where in an application or appeal relating to a specific piece of property, the purposes of the Municipal Land Use Law (N.J.A.A. 40: 55D-1 et seq.) would be advanced by a deviation from the zoning regulations (Article VI of this chapter) and the benefits of the deviation would substantially outweigh any detriment, grant a variance to allow departure from regulations pursuant to the zoning regulations; provided, however, that no variance from those departures enumerated in paragraph b, 4 below shall be granted under this paragraph; and provide further that the proposed development does not require approval by the Planning Board of a subdivision, site plan or conditional use in conjunction with which the Planning Board has power to review a request for a variance pursuant subsection 220201.2a of this chapter and N.J.S.A. 40:55D060A. 40:55D060A of the Municipal Land Use Law.

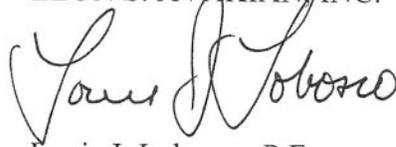
The following should be addressed in the testimony of the public hearing:

1. The Applicant should provide an aerial photograph that clearly shows the property, the nearby area and the front setbacks of neighbors along Ocean Road and 6th Avenue.
2. The Applicant should discuss the lot before demolition and the many non-conformities.
3. The Applicant should discuss and describe the proposed house, porches, driveway and building height.
4. The Applicant should discuss all the proposed variances and why they believe they should be granted.
 - Front yard setback off of 6th Avenue
 - Mechanical equipment located in the side yard shall be screened on 3 sides Ordinance 22-577.6
5. The Applicant should discuss the impact this construction will have on the neighborhood.
6. The Applicant should address the similarities or discrepancies of the proposed construction with the character of the neighborhood.
7. Payment of all taxes on this lot should be confirmed.
8. If the Applicant wishes to represent themselves at the meeting, attendance at the prior meeting is recommended.

If you have any questions regarding this matter, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Louis J. Lobosco, P.E.
Board of Adjustment Engineer

LJL:mcs

cc: Mary Ellen Karamus, Board of Adjustment Secretary
Mayor Thomas O'Brien
All Zoning Board Members
Barbara VanWagner Zoning/Code Enforcement Official
Mark Kitrick, Esq.
A.C. Construction Mgt., LLC
Michael R. Rubino

SLH/BA/19/19-10

LEON S. AVAKIAN, INC. *Consulting Engineers*

788 WAYSIDE ROAD • NEPTUNE, NEW JERSEY 07753

LEON S. AVAKIAN, P.E., P.L.S. (1953-2004)
PETER R. AVAKIAN, P.E., P.L.S., P.P.
MEHRYAR SHAFAI, P.E., P.P.
GREGORY S. BLASH, P.E., P.P.
LOUIS J. LOBOSCO, P.E., P.P.
GERALD J. FREDA, P.E., P.P.
WILLIAM D. PECK, P.E., P.P.
RICHARD PICATAGI, L.L.A., P.P.
JENNIFER C. BEAHM, P.P., AICP

January 3, 2020

Chairman Dennis Pearsall
Borough of Spring Lake Heights
555 Brighton Avenue
Spring Lake Heights, NJ 07762

**Re: Residential Bulk Variance Application
Block 20, Lot 17
601 Ocean Road
Spring Lake Heights, NJ
Our File SLHBA 19-10**

Dear Chairman Pearsall:

We are in receipt of a development application for the above referenced property. The Applicant applied to construct a new house with a front and back porch and a new driveway on an undersized lot. The improvements require variances for the front yard setback and no screening of mechanical equipment in a side yard. Block 20, Lot 17, 601 Ocean Road is on the southwest corner of Ocean Road and Sixth Avenue. The original house on this lot was recently demolished.

Please note that Borough Ordinance 22-517.6 for Nonconforming Lot states that a building permit may be issued without an appeal for variance:

Any nonconforming lot not meeting the definition of the previous subsection may have a building permit issued for a permitted use without an appeal for a variance, provided the building coverage is not exceeded, parking requirements are met and the nonconforming lot abuts lots on either side that are developed and the nonconforming lot is the largest possible assemblage of contiguous land under the preceding section. Where the nonconforming lots abuts either a vacant lot or an oversized developed lot, the issuance of a building permit may be delayed until the approving authority determines the reasonableness of requiring the applicant to acquire additional land to reduce or eliminate the nonconformity. Where the resulting lot is still nonconforming, the yard and height provisions may be reduced to the same percentage the area of the undersized lot bears to the zone district requirements, except that no side yard shall be less than half that required by this chapter or five (5') feet, whichever is greater, and no building shall be required to have a height less than twelve (12') feet. (Ord. #6-1989, §517.6)

All application and escrow fees have been paid in full with the original application, therefore, this application is deemed complete for review by the Zoning Board of Adjustment.

This office has reviewed the Development Application, Addendum No. 1 with exhibit and the following documents:

1. Plan of Survey by Robert M. Horvath dated 2/25/19
2. Plot Plan 601 Ocean Road, Block 20, Lot 17 by KBA Engineering Services, LLC sheet 1 of 1 dated 12/9/19

3. PFS Corporation plans, Simplex Homes dated 11/20/19
4. Sustainable checklist forms
5. Request for Taxpayer Identification Number and certification W-9 form

The Required, Existing and Proposed schedule of permitted uses, yard area and bulk requirements for this lot are as follows:

R-5 ZONE

		Required or Allowed	Existing (Before Demo)	Proposed	22-517.6
Use		Single Family	Single Family	Single Family	Single Family
Minimum Lot Area		7,500 sf	5,400 sf (NC)	5,400 sf (NC)	72%
Minimum Lot Frontage		50'	60'	60'	----
Minimum Lot Width		50'	60'	60'	----
Minimum Lot Depth		150'	90' (NC)	90' (V)	----
Principal Building Setbacks	Front Yard (Ocean Road)	30'	28.4' (NC)	31'	21.6'
	Front Porch Landing (Ocean Road)	22'	20.8' (NC)	25'	15.8'
	Front Yard (6 th Avenue)	30'	13.1'(NC)	23.84' (V)	21.6'
	Back Yard (South)	10'	28.3'	13'	7.2'
	Side Yard (West)	10'	7.1' (NC)	10.16'	7.2'
Accessory Building Setback	Front Yard	30'	(NA)	(NA)	----
	Back Yard	5'	(NA)	(NA)	----
	Side Yard	5'	(NA)	(NA)	----
	Side Yard	5'	(NA)	(NA)	----
Maximum Height	Principal	32'	(NG)	30.9'	23'
	Accessory	15'	(NG)	(NG)	----
Maximum Building Coverage		25%	30.27% (NC)	24.07%	----
Maximum Lot Coverage		50%	53.16% (NC)	33.59%	----
Minimum Parking Space		2	2	2	----
Driveway Setback		2'	2'	4'	----
Drywells (Water Infiltration System)		Required	NO (NC)	YES	----
Mechanical Equipment in Side Yard		Screened	NO (NC)	NO (V)	----

(V) = Required Variance
 (NA) = Not Applicable

(NC) = Pre-existing Non-conformity
 (NG) = Not Given

The lot before demolition had many nonconformities listed below:

1. An undersized lot of 5,400 sf and 90' depth where 7,500 sf and 150' are required.
2. A front yard setback off Ocean Road of 28.4 feet where 30 feet is required
3. A front yard setback for a porch or landing off Ocean Road of 20.8 feet where 22 feet is required
4. A front yard setback off of 6th Avenue of 13.1' where 30'is required
5. A side yard setback to the east of 7.1' where 10 feet is required
6. A maximum building coverage of 30.27% where 25% is allowed

7. A maximum lot coverage of 53.6% where 50% is allowed.
8. No drywells on property and drywells or water infiltration systems are now required (22-609.9).
9. The mechanical equipment in the side yard was not screened.

The Applicant's proposal appears to require the following variances:

1. A front yard setback off 6th Avenue of 23.84' where 30 feet is allowed although Ordinance 22-517.6 states a permit can allow reduced yard and height provisions 72% to 21.6'
2. No screening of the A.C. pad

also
Please be advised that Ordinance 22-517.6 states that a building permit for an undersized lot could allow yard and height provisions to be reduced by 72%:

1. A front yard setback off of Ocean Road at 72% in the R-5 Zone would be 21.6'.
2. A front porch landing off of Ocean Road at 72% in the R-5 Zone would be 15.8'
3. A maximum building height at 72% in the R-5 Zone would be 23.04'.

Variance Testimony

As per the Borough Ordinance 22-200.2 variance can be granted:

- A. Where by reason of exceptional narrowness, shallowness or shape of a specific piece of property, or by reason of exceptional topographic conditions or physical features uniquely affecting a specific piece of property, or by reason of extraordinary and exceptional situation uniquely affecting specific piece of property of structures lawfully existing thereon, the strict application of any regulation in the zoning provisions of this chapter would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon the developer of such property, grant, upon an application or an appeal relating to such property a variance from such strict regulation so as to relieve such difficulties or hardship.
- B. Where in an application or appeal relating to a specific piece of property, the purposes of the Municipal Land Use Law (N.J.A.A. 40: 55D-1 et seq.) would be advanced by a deviation from the zoning regulations (Article VI of this chapter) and the benefits of the deviation would substantially outweigh any detriment, grant a variance to allow departure from regulations pursuant to the zoning regulations; provided, however, that no variance from those departures enumerated in paragraph b, 4 below shall be granted under this paragraph; and provide further that the proposed development does not require approval by the Planning Board of a subdivision, site plan or conditional use in conjunction with which the Planning Board has power to review a request for a variance pursuant subsection 220201.2a of this chapter and N.J.S.A. 40:55D060A. 40:55D060A of the Municipal Land Use Law.

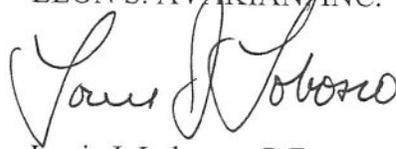
The following should be addressed in the testimony of the public hearing:

1. The Applicant should provide an aerial photograph that clearly shows the property, the nearby area and the front setbacks of neighbors along Ocean Road and 6th Avenue.
2. The Applicant should discuss the lot before demolition and the many non-conformities.
3. The Applicant should discuss and describe the proposed house, porches, driveway and building height.
4. The Applicant should discuss all the proposed variances and why they believe they should be granted.
 - Front yard setback off of 6th Avenue
 - Mechanical equipment located in the side yard shall be screened on 3 sides Ordinance 22-577.6
5. The Applicant should discuss the impact this construction will have on the neighborhood.
6. The Applicant should address the similarities or discrepancies of the proposed construction with the character of the neighborhood.
7. Payment of all taxes on this lot should be confirmed.
8. If the Applicant wishes to represent themselves at the meeting, attendance at the prior meeting is recommended.

If you have any questions regarding this matter, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Louis J. Lobosco, P.E.
Board of Adjustment Engineer

LJL:mcs

cc: Mary Ellen Karamus, Board of Adjustment Secretary
Mayor Thomas O'Brien
All Zoning Board Members
Barbara VanWagner Zoning/Code Enforcement Official
Mark Kitrick, Esq.
A.C. Construction Mgt., LLC
Michael R. Rubino

SLH/BA/19/19-10